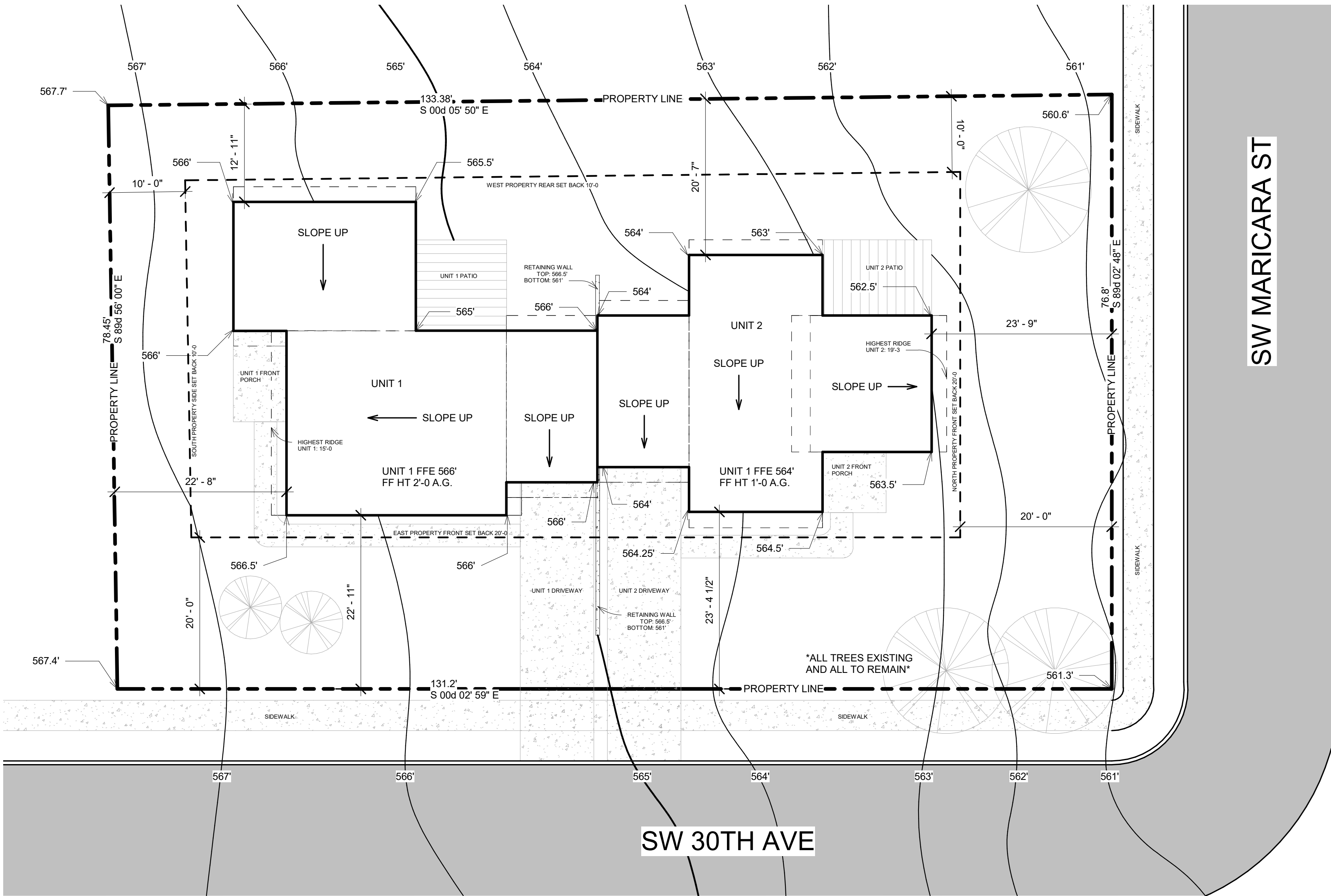


MARICARA MODERN DUPLEX

3008 SW MARICARA ST
PORTLAND, OREGON



2 EAST SITE SKETCH
3/16" = 1'-0"



1 Site
1" = 10'-0"

SHEET LIST		
Sheet Number	Sheet Name	Sheet Issue Date
A00	COVER SHEET w/ SITE PLAN	12/05/22
A01	NORTH & EAST ELEVATION	11/20/22
A02	SOUTH & WEST ELEVATION	11/20/22
A03	FLOOR PLAN	10/20/22
A04	FOUNDATION PLAN	11/02/22
A05	UPPER FLOOR FRAMING PLAN	11/02/22
A06	ROOF FRAMING PLAN	11/02/22
A07	SECTIONS	11/11/22
A08	DETAILS	11/28/22
E01	ELECTRICAL PLAN	10/20/22

PROJECT INFORMATION:

ADDRESS:
3008 SW MARICARA ST.
PORTLAND OR, 97219

DESCRIPTION OF PROPOSED DESIGN:
DUPLEX, CUSTOM
TYPE OF CONSTRUCTION: VB

LEGAL DESCRIPTION:
GALEBURN PLACE, LOT 3 TL 4600
PROPERTY ID: R167524
TAX MAP: 1S1E29DC 4600
USE: RESIDENTIAL IMPROVED

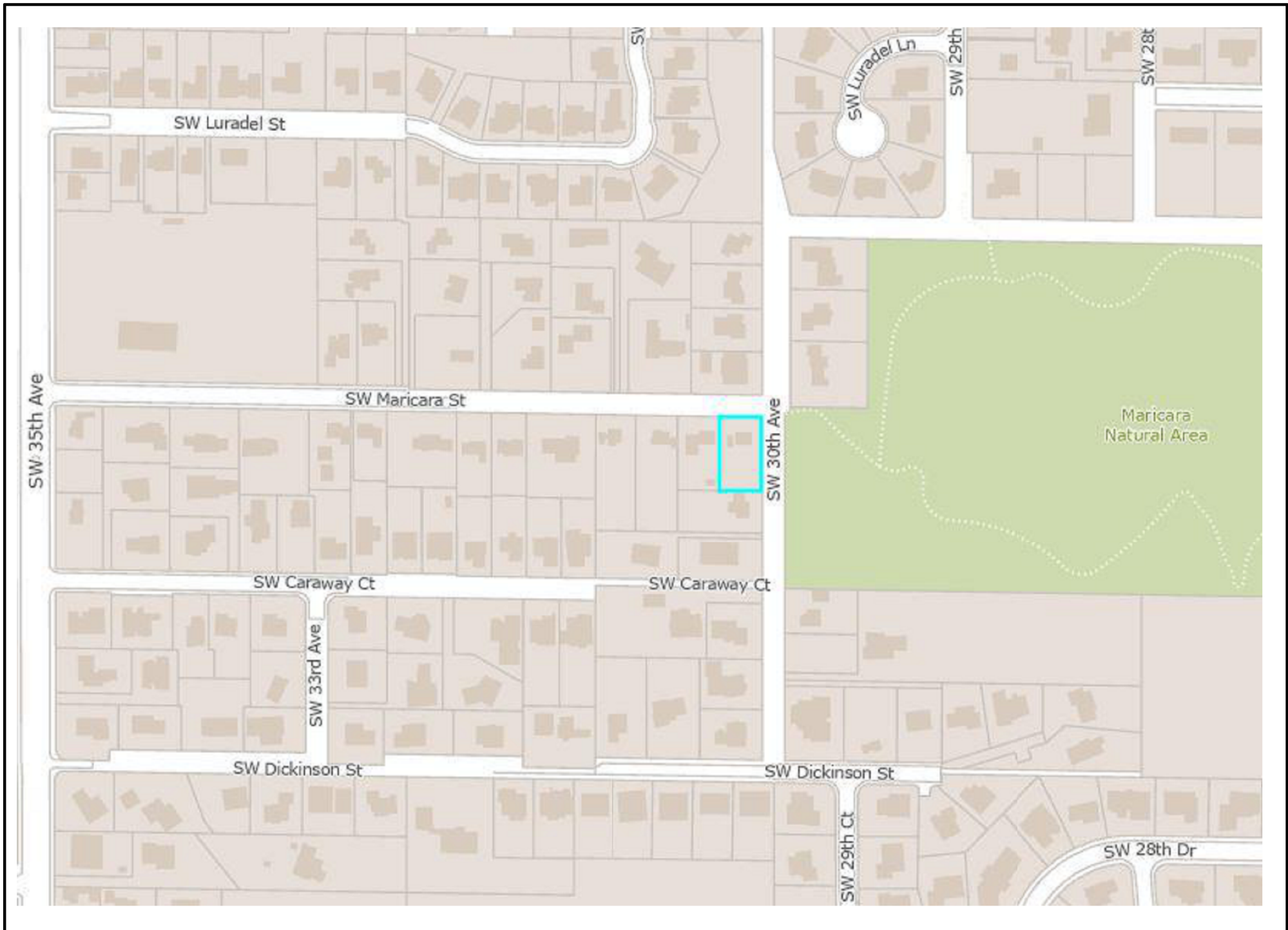
ZONING INFORMATION:
CITY OF PORTLAND
TYPE: R-10
LOT SIZE: 0.23 ACRES (10,164 SF)
REQUIRED SETBACKS:
FRONT: 20'-0"
REAR/SIDE: 10'-0"
GARAGE: 18'-0"

MAX BLDG. COVERAGE: 3025 SF (30% OF LOT)
PROPOSED BLDG. COVERAGE: 2,266 SF (22% OF LOT)

MAX BLDG. HEIGHT: 30'-0"
PROPOSED BLDG. HT.: 19'-3"

BUILDING AREAS:

UNIT 1 2ND FLR: N/A 1ST FLR: 1126 SF TOTAL: 1126 SF	UNIT 2 2ND FLR: 288 1ST FLR: 852 SF TOTAL: 1140SF
GARAGE: 245 SF FRONT PORCH: 84 SF BACK PATIO: 144 SF	GARAGE: 245 SF FRONT PORCH: 66.67 SF BACK PATIO: 160 SF



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MARICARA
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COVER
SHEET w/
SITE
PLAN

Project Number	Project Number
Date	12/12/2022
Drawn By	ANDRII PUKAY
Checked By	Checker

A00

Scale As indicated



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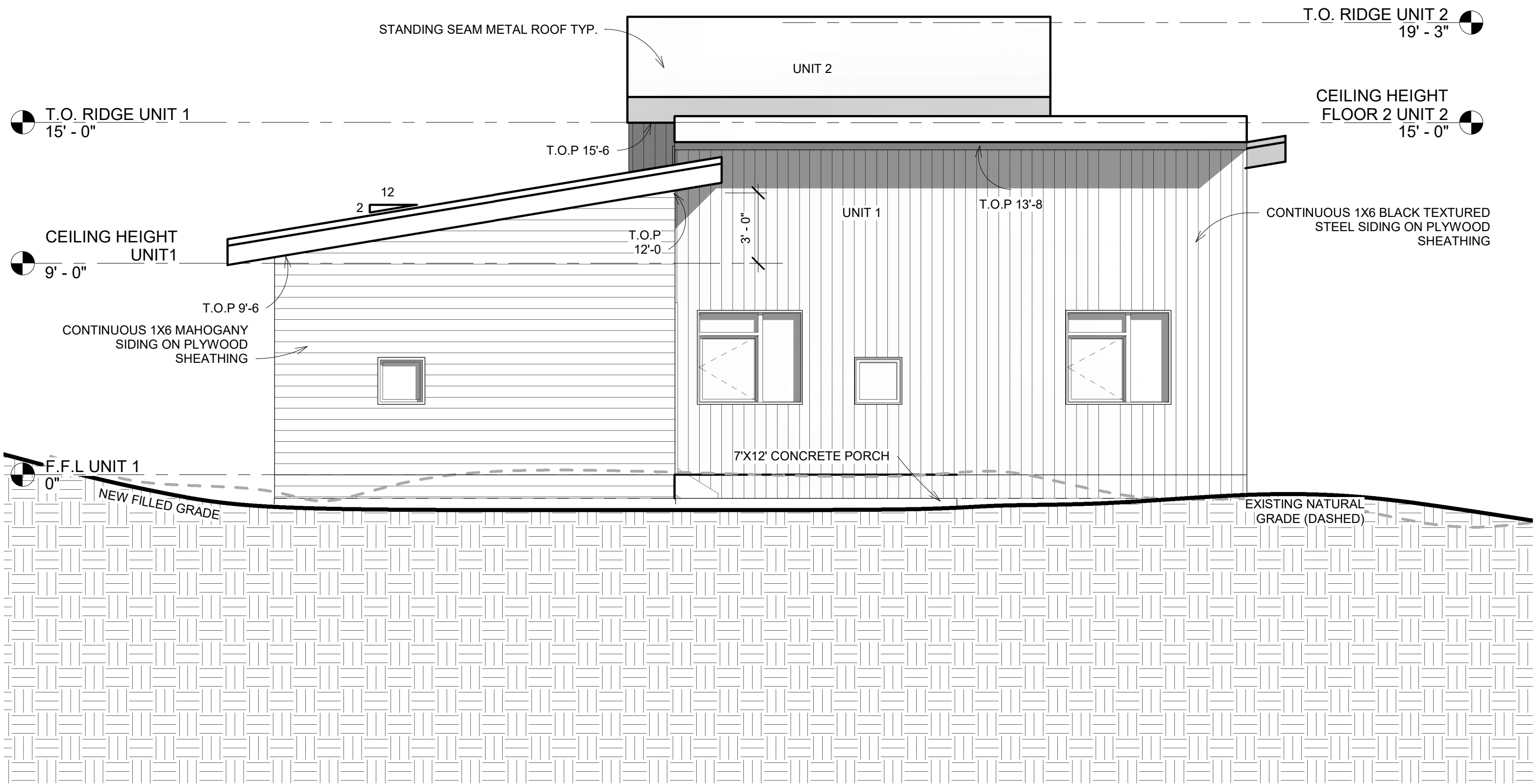
MARICARA
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NORTH &
EAST
ELEVATION

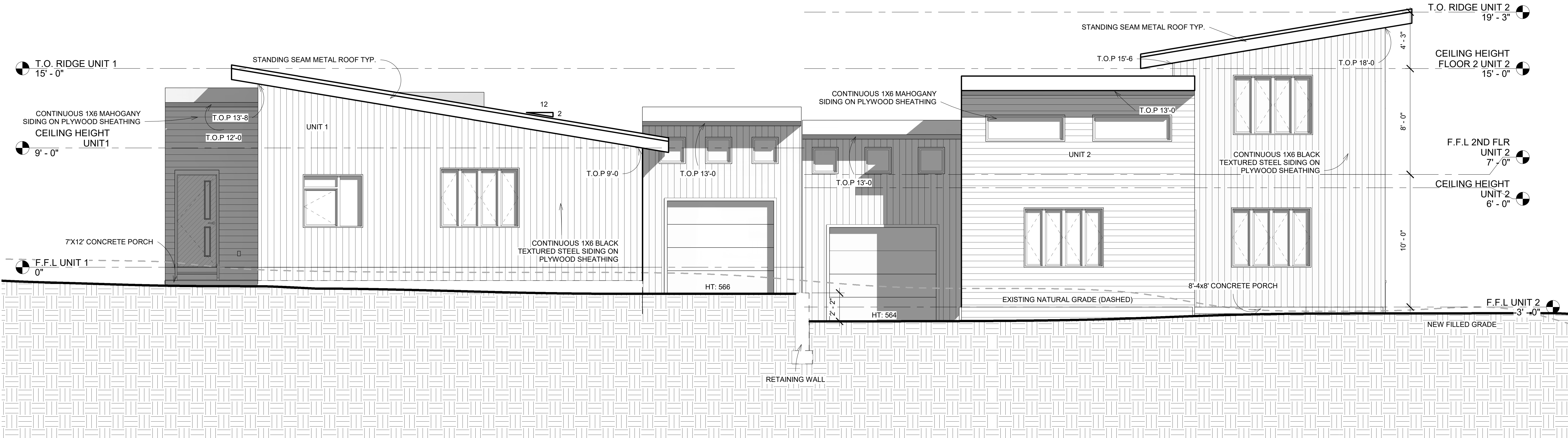
Project Number	Project Number
Date	12/12/2022
Drawn By	ANDRII PUKAY
Checked By	Checker

A01

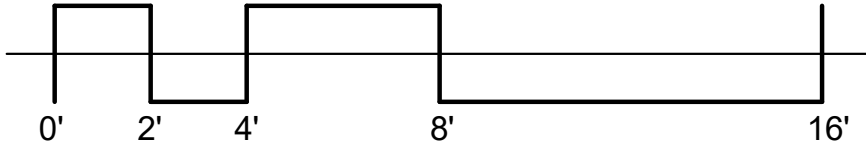
Scale 1/4" = 1'-0"



1 North
1/4" = 1'-0"



2 East
1/4" = 1'-0"





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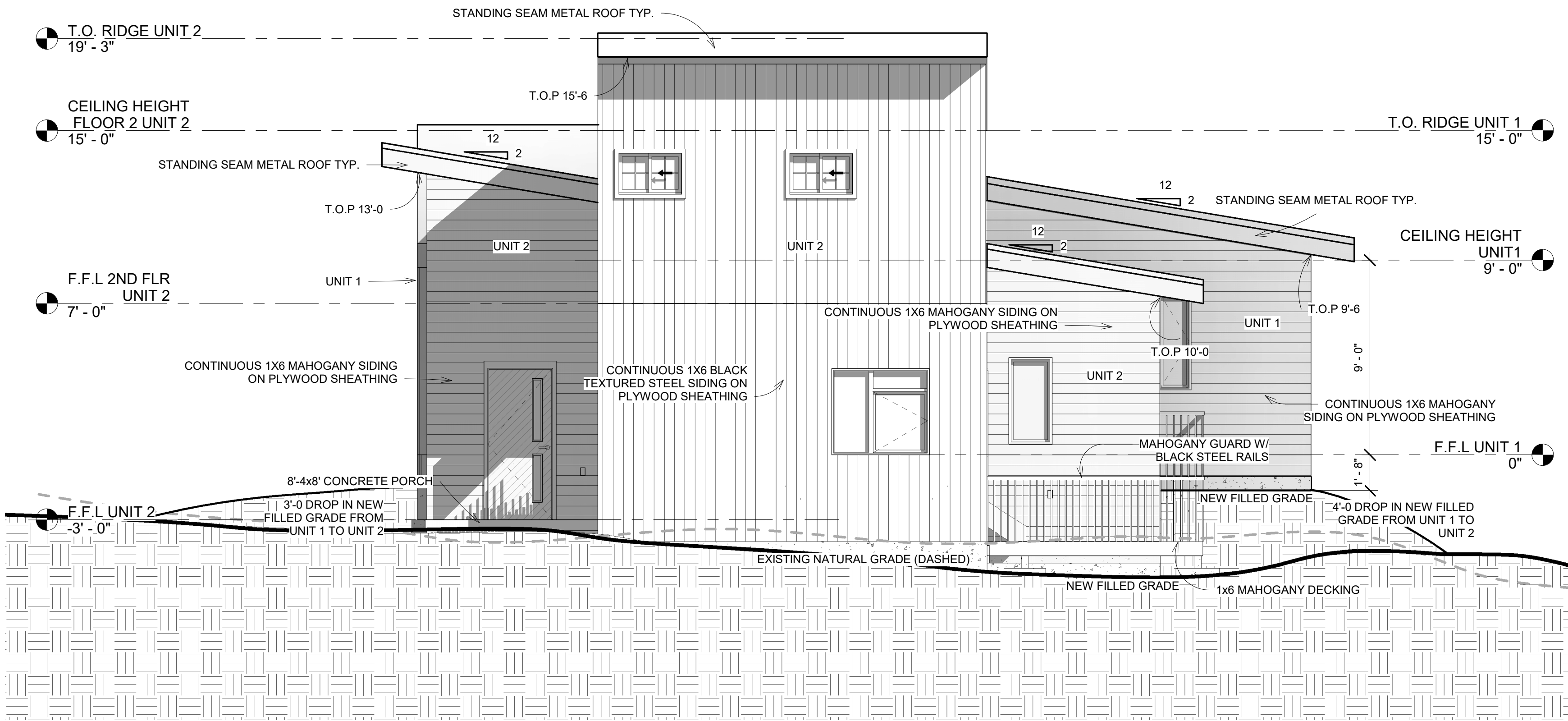
MARICARA
DUPLEX
PROJECT

SOUTH &
WEST
ELEVATION

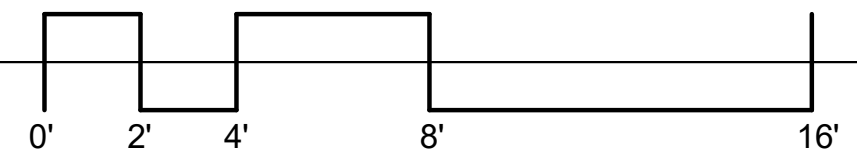
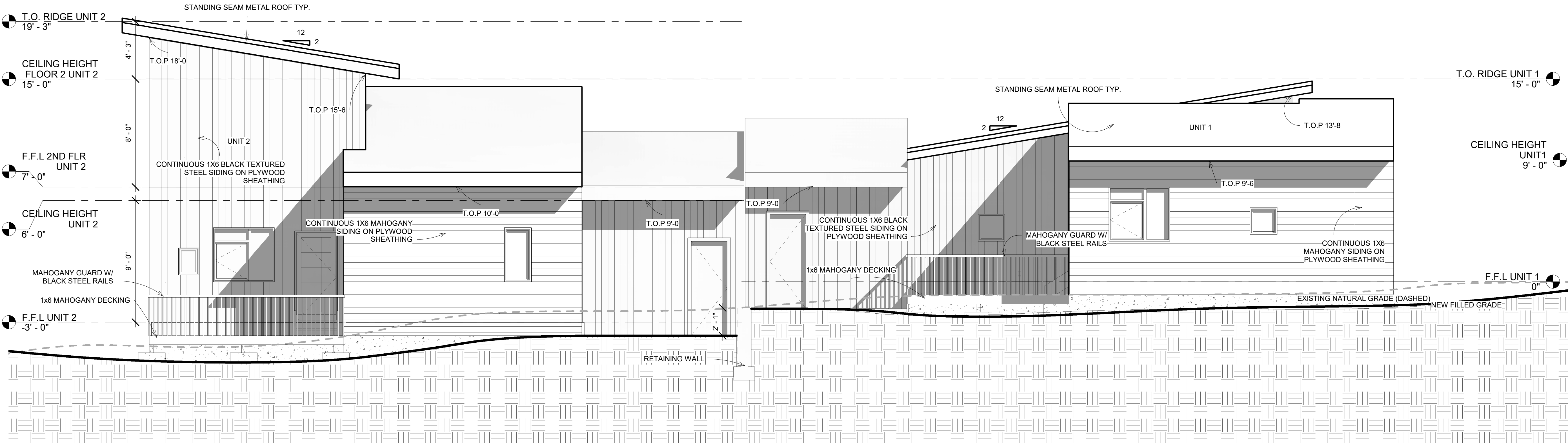
Project Number	Project Number
Date	12/12/2022
Drawn By	ANDRII PUKAY
Checked By	Checker

A02

Scale 1/4" = 1'-0"



1 South
1/4" = 1'-0"



2 West
1/4" = 1'-0"



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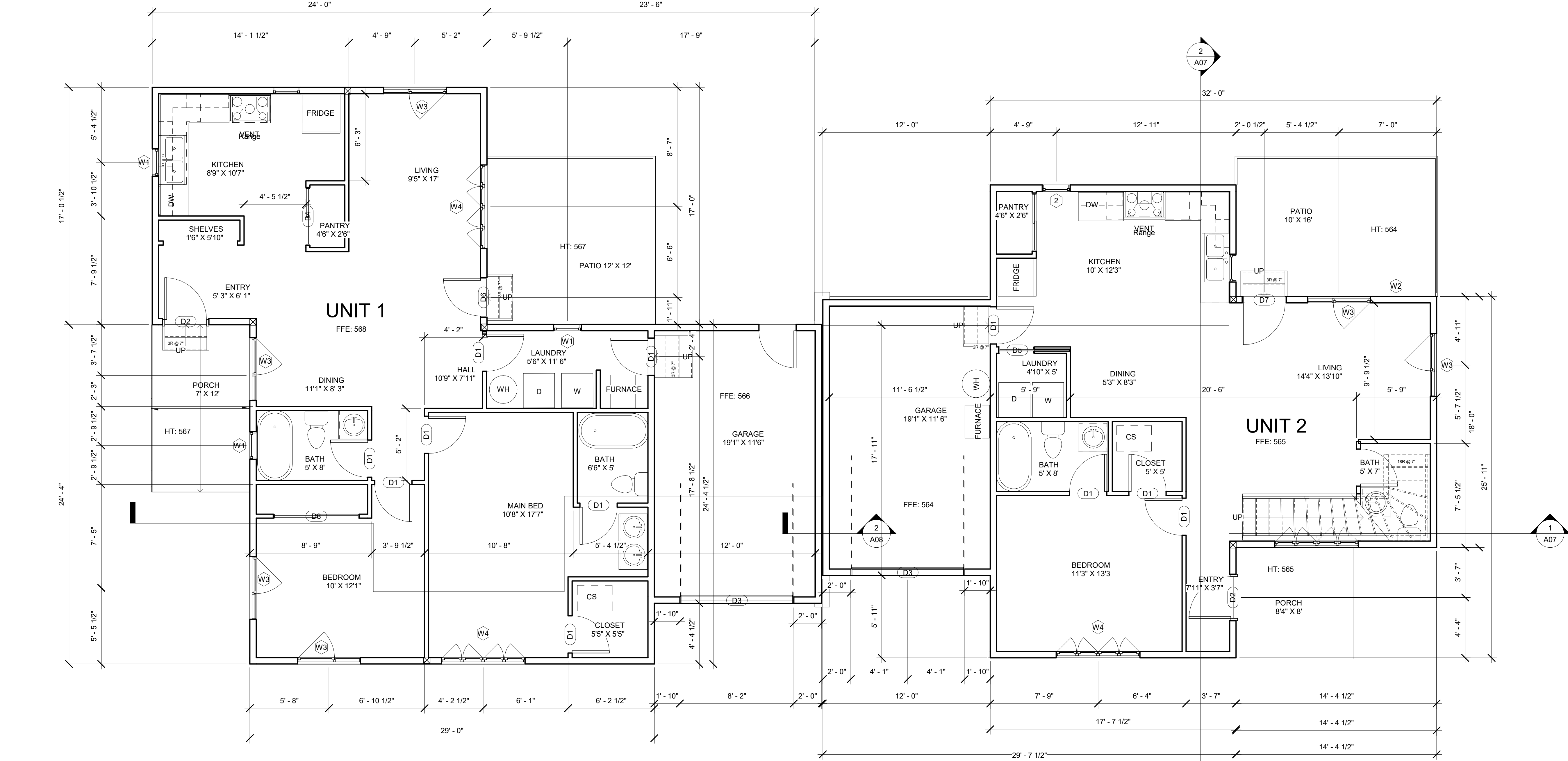
MARICARA
DUPLEX
PROJECT

FLOOR
PLAN

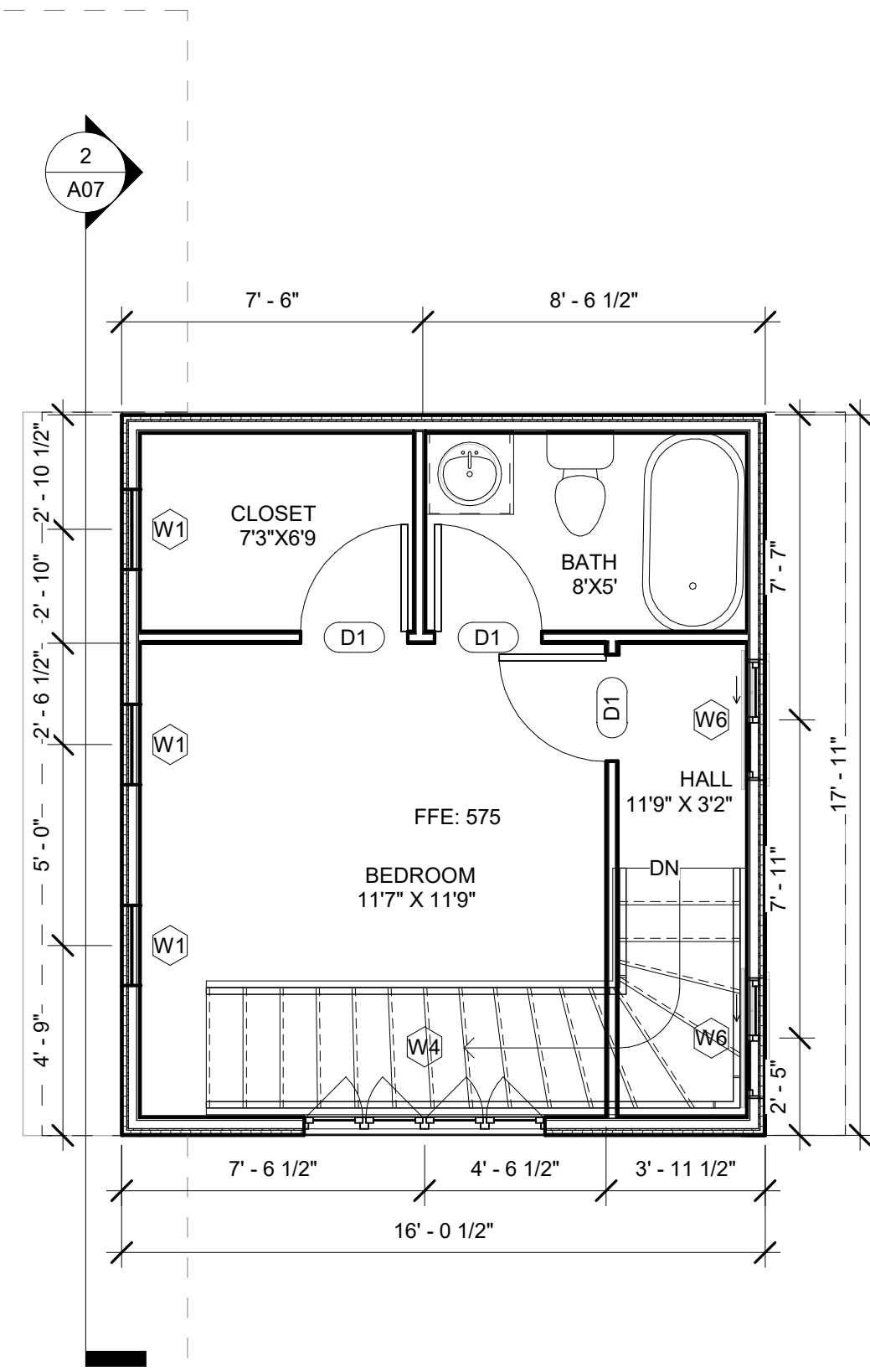
Project Number	Project Number
Date	12/12/2022
Drawn By	ANDRII PUKAY
Checked By	Checker

A03

Scale 1/4" = 1'-0"



1 first floor plan
1/4" = 1'-0"



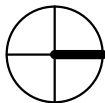
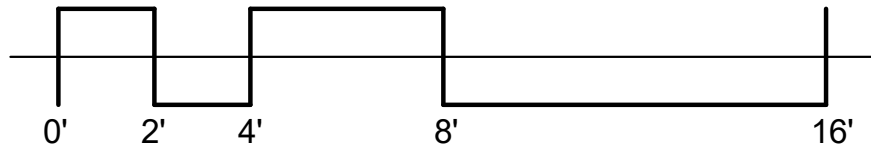
2 second floor unit 2
1/4" = 1'-0"

Window Schedule				
Type Mark	Count	Sill Height	Width	Height
2	2	<varies>	2' - 0"	4' - 0"
W1	13	<varies>	2' - 0"	2' - 0"
W2	1	3' - 6"	1' - 6"	2' - 0"
W3	6	3' - 0"	4' - 6"	4' - 0"
W4	5	3' - 0"	6' - 0"	4' - 6"
W6	2	3' - 0"	3' - 0"	2' - 0"
W7	2	9' - 6"	6' - 0"	2' - 0"

Door Schedule				
Type Mark	Count	Width	Height	Comments
D1	17	2' - 8"	7' - 0"	
D2	2	3' - 0"	7' - 0"	
D3	2	8' - 0"	7' - 0"	
D4	2	4' - 0"	6' - 8"	
D5	1	2' - 6"	6' - 8"	
D6	1	2' - 8"	6' - 8"	
D7	1	3' - 0"	6' - 8"	
D8	1	6' - 0"	6' - 8"	

UNIT ONE GROSS SF: 1126
UNIT TWO GROSS SF: 1140

UNIT TWO FIRST FLOOR SF: 852
UNIT TWO SECOND FLOOR SF: 288



① foundation plan
1/4" = 1'-0"



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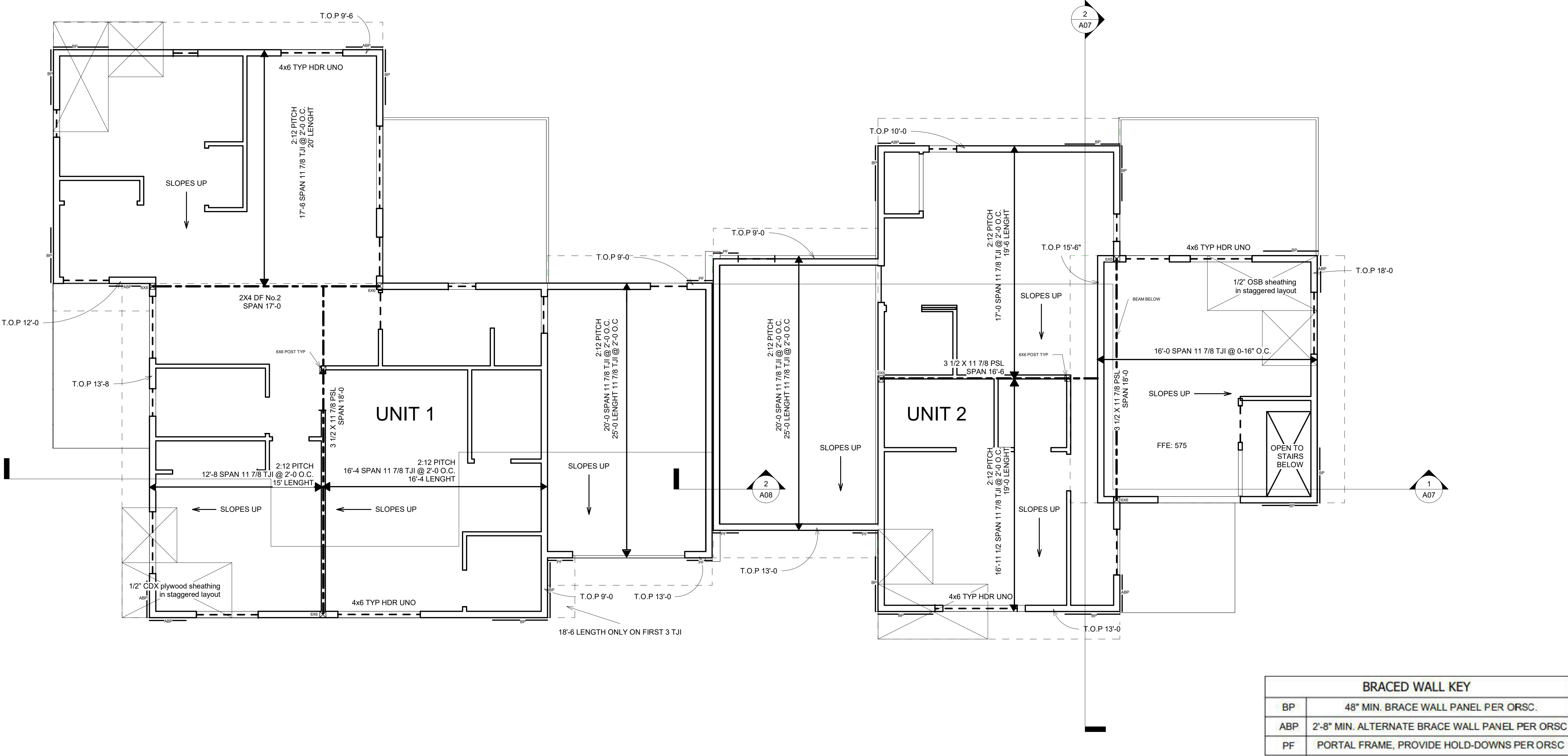
MARICARA
DUPLEX
PROJECT

UPPER
FLOOR
FRAMING
PLAN

Project Number	Project Number
Date	12/12/2022
Drawn By	ANDRII PUKAY
Checked By	Checker

A05

Scale 1/4" = 1'-0"



1 UPPER FLOOR FRAMING PLAN
1/4" = 1'-0"



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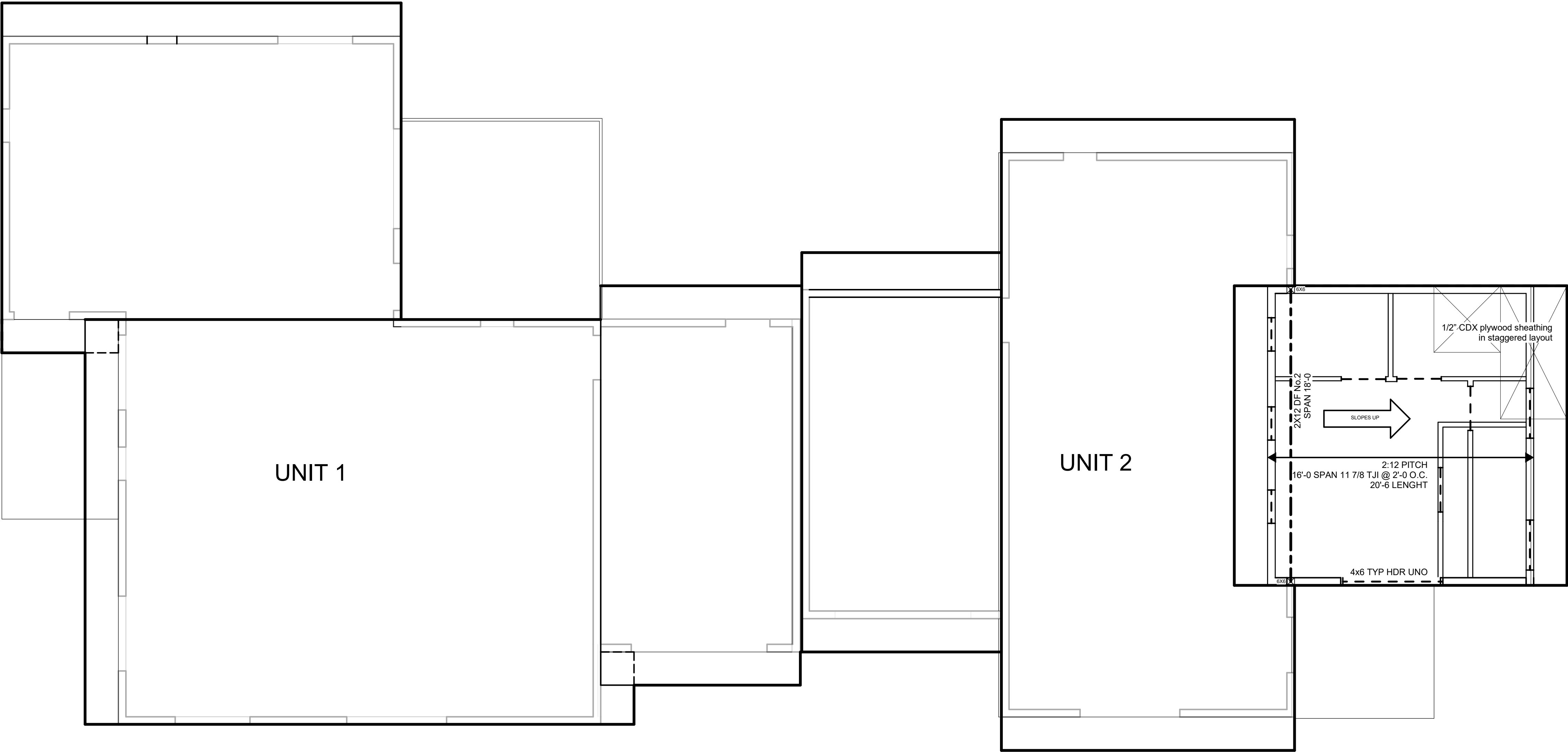
MARICARA
DUPLEX
PROJECT

ROOF
FRAMING
PLAN

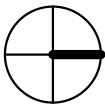
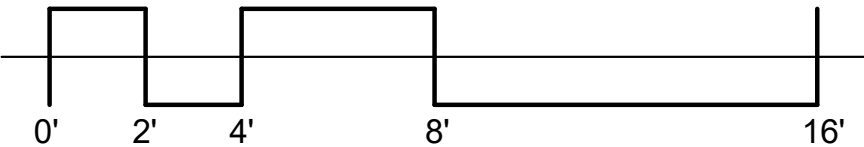
Project Number	Project Number
Date	12/12/2022
Drawn By	ANDRII PUKAY
Checked By	Checker

A06

Scale1/4" = 1'-0"



1 ROOF FRAMING PLAN
1/4" = 1'-0"





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SECTIONS

Project Number Project Number

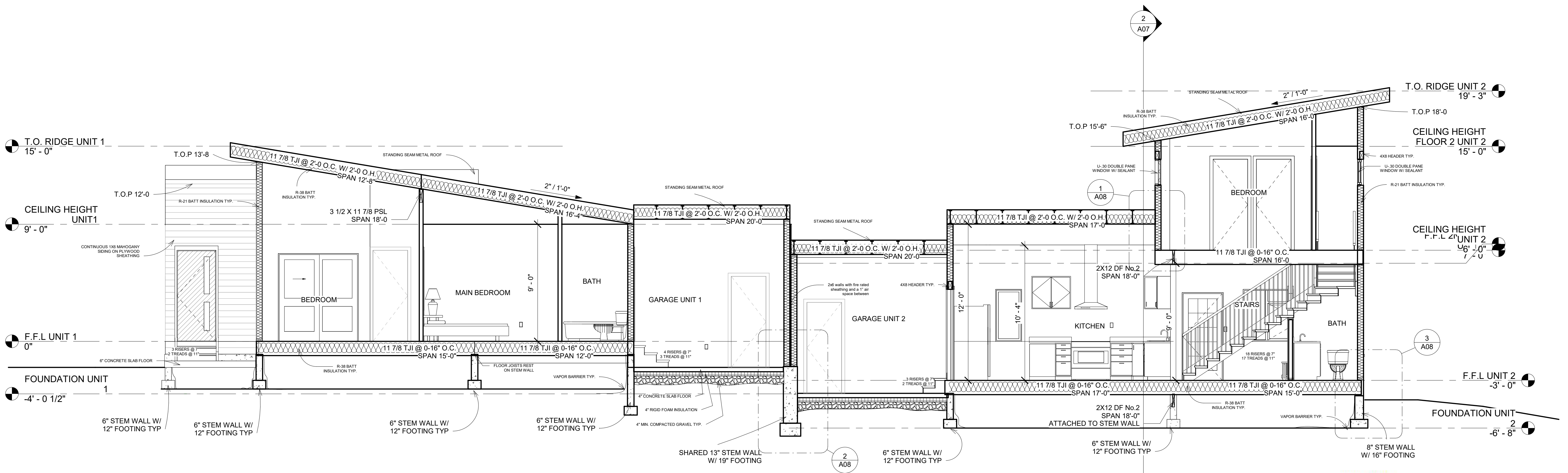
Date 12/12/2022

Drawn By ANDRII PUKAY

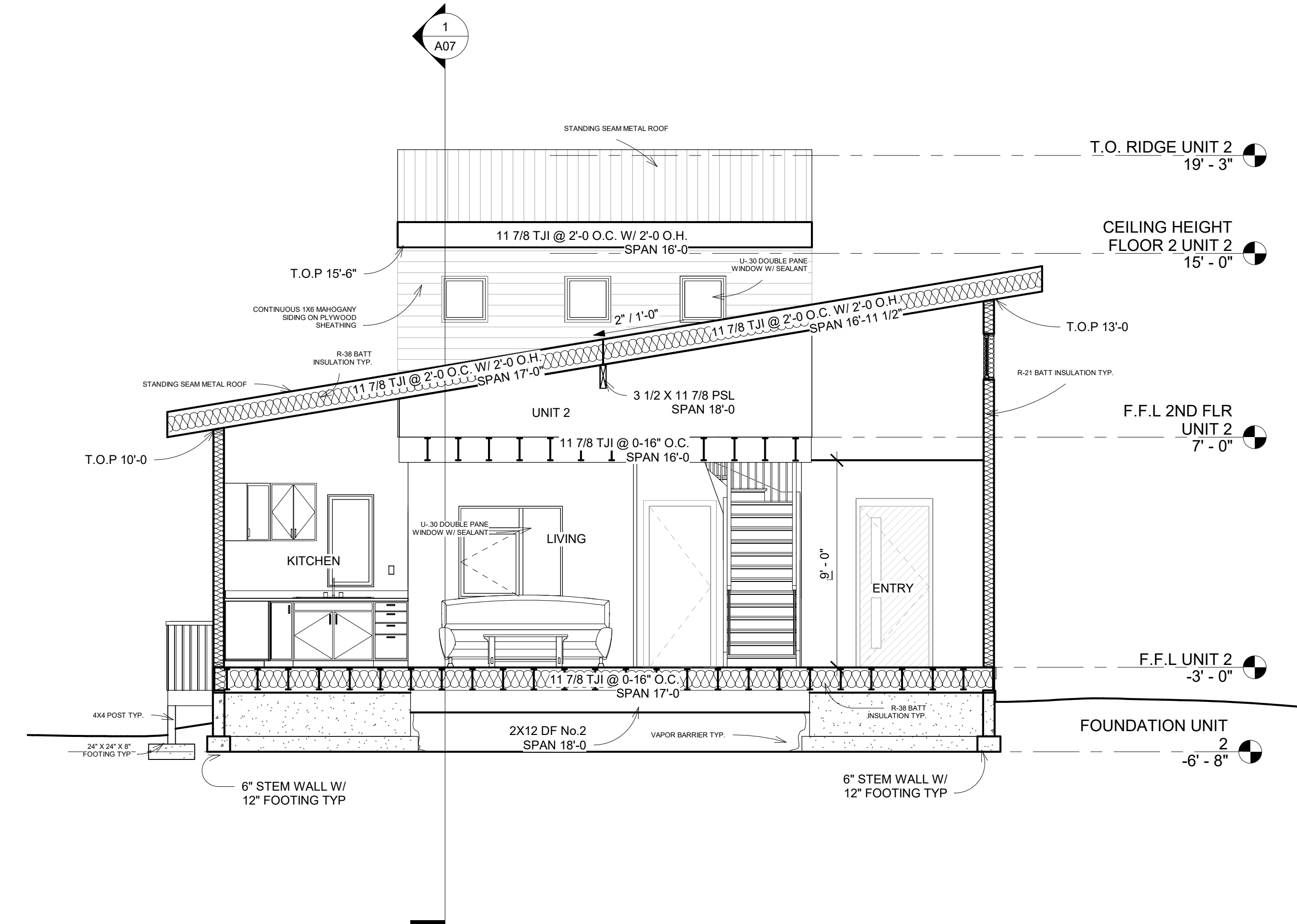
Checked By Checker

A07

Scale 1/4" = 1'-0"



① UNIT 1 & 2 SECTION
1/4" = 1'-0"



② UNIT 2 SECTION
1/4" = 1'-0"

TABLE N1101.1(2) ADDITIONAL MEASURES	
1	High efficiency walls & windows: Exterior walls—U-0.047/R-19+5 (insulation sheathing/SIPS, and one of the following options: Windows—Max 15 percent of conditioned area; or Windows—U-0.30
2	High efficiency envelope: Exterior walls—U-0.058/R-21 Intermediate framing, and Vaulted ceilings—U-0.033/R-30A ^{4,c} , and Flat ceilings—U-0.025/R-49, and Framed floors—U-0.025/R-38, and Windows—U-0.30; and Doors—All doors U-0.20, or Additional 15 percent of permanently installed lighting fixtures as high-efficiency lamps or Conservation Measure D and E.
3	High efficiency ceiling, windows & duct sealing: (Cannot be used with Conservation Measure E) Vaulted ceilings—U-0.033/R-30A ^{4,c} , and Flat ceilings—U-0.025/R-49, and Windows—U-0.30, and Performance tested duct systems ⁸
4	High efficiency thermal envelope UA: Proposed UA is 15% lower than the Code UA when calculated in Table N1104.1(1)
5	Building tightness testing, ventilation & duct sealing: A mechanical exhaust, supply, or combination system providing whole-building ventilation rates specified in Table N1101.1(3), or ASTM E1-02.2, and The dwelling shall be tested with a blower door and found to exhibit no more than 1. 6.0 air changes per hour ⁷ , or 2. 5.0 air changes per hour ⁷ when used with Conservation Measure E, and Performance tested duct systems ⁸
6	Ducted HVAC systems within conditioned spaces: (Cannot be used with Conservation Measure B or C) All ducts and air handler are contained within building envelope ⁹
Conservation Measure (Select One)	
A	High efficiency HVAC systems: Gas-fired furnace or boiler with minimum AFUE of 90% a, or Air-source heat pump with minimum HSPF of 8.5 or Closed-loop ground source heat pump with minimum COP of 3.0
B	Ducted HVAC systems within conditioned spaces: All ducts and air handler are contained within building envelope ⁹
C	Ductless heat pump: Replace electric resistance heating in at least the primary zone of dwelling with at least one ductless mini-split heat pump having a minimum HSPF of 8.5. Unit shall not have integrated backup resistance heat, and the unit (or units, if more than one is installed in the dwelling) shall be sized to have capacity to meet the entire dwelling design heat loss rate at outdoor design temperature condition. Conventional electric resistance heating may be provided for any secondary zones in the dwelling. A packaged terminal heat pump (PTHP) with comparable efficiency ratings may be used when no supplemental panel heaters are installed in the building and integrated backup resistance heat is allowed in a PTHP.
D	High efficiency water heating & lighting: Natural gas/propane, on-demand water heating with min EF of 0.80, and A minimum 75 percent of permanently installed lighting fixtures as CFL or linear fluorescent or a min efficacy of 40 lumens per watt as specified in Section N1107.2 ^c
E	Energy management device & duct sealing: Whole building energy management device that is capable of monitoring or controlling energy consumption, and Performance tested duct systems ⁸ , and A minimum 75 percent of permanently installed lighting fixtures as high-efficiency lamps
F	Solar photovoltaic: Minimum 1 watt/sq ft conditioned floor space ^d
G	Solar water heating: Minimum of 40 ft ² of gross collector area ^b

TABLE N1101.1(1) PRESCRIPTIVE ENVELOPE REQUIREMENTS ^a				
BUILDING COMPONENT	STANDARD BASE CASE		LOG HOMES ONLY	
	Required Performance	Equiv. Value ^b	Required Performance	Equiv. Value ^b
Wall insulation-above grade	U-0.060	R-21 ^c	Note d	Note d
Wall insulation-below grade ^e	F-0.565	R-15	F-0.565	R-15
Flat ceilings ^f	U-0.031	R-38	U-0.025	R-49
Vaulted ceilings ^g	U-0.042	R-38 ^h	U-0.027	R-38A ^b
Underfloors	U-0.028	R-30	U-0.028	R-30
Slab edge perimeter	F-0.520	R-15	F-0.520	R-15
Heated slab interior ⁱ	n/a	R-10	n/a	R-10
Windows ^j	U-0.35	U-0.35	U-0.35	U-0.35
Window area limitation ^k	n/a	n/a	n/a	n/a
Skylights ^l	U-0.60	U-0.60	U-0.60	U-0.60
Exterior doors ^m	U-0.20	U-0.20	U-0.54	U-0.54
Exterior doors w/ > 2.5 ft ² glazing ⁿ	U-0.40	U-0.40	U-0.40	U-0.40
Forced air duct insulation	n/a	R-8	n/a	R-8



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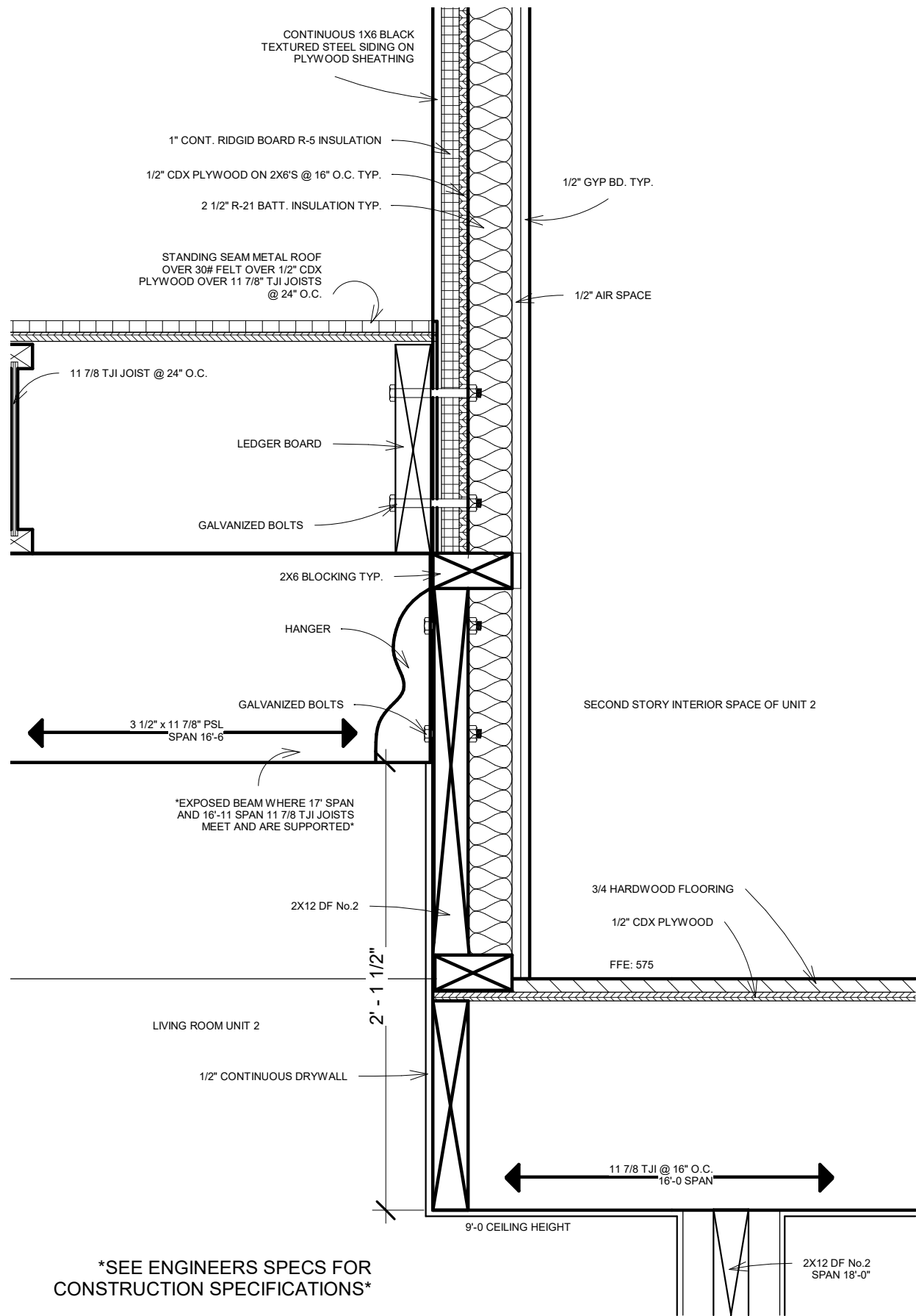
MARICARA
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DETAILS

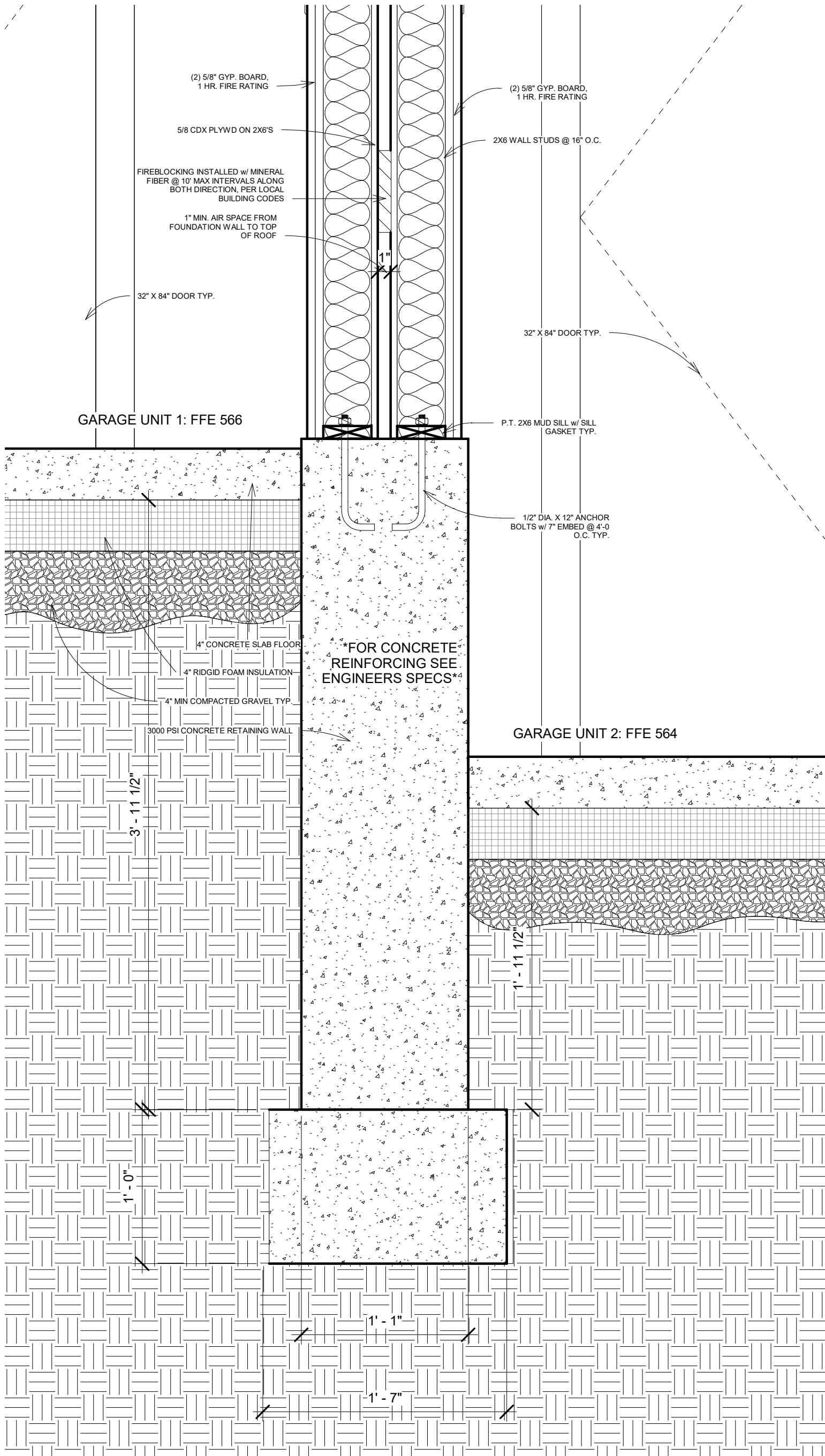
Project Number	Project Number
Date	12/12/2022
Drawn By	ANDRII PUKAY
Checked By	Checker

A08

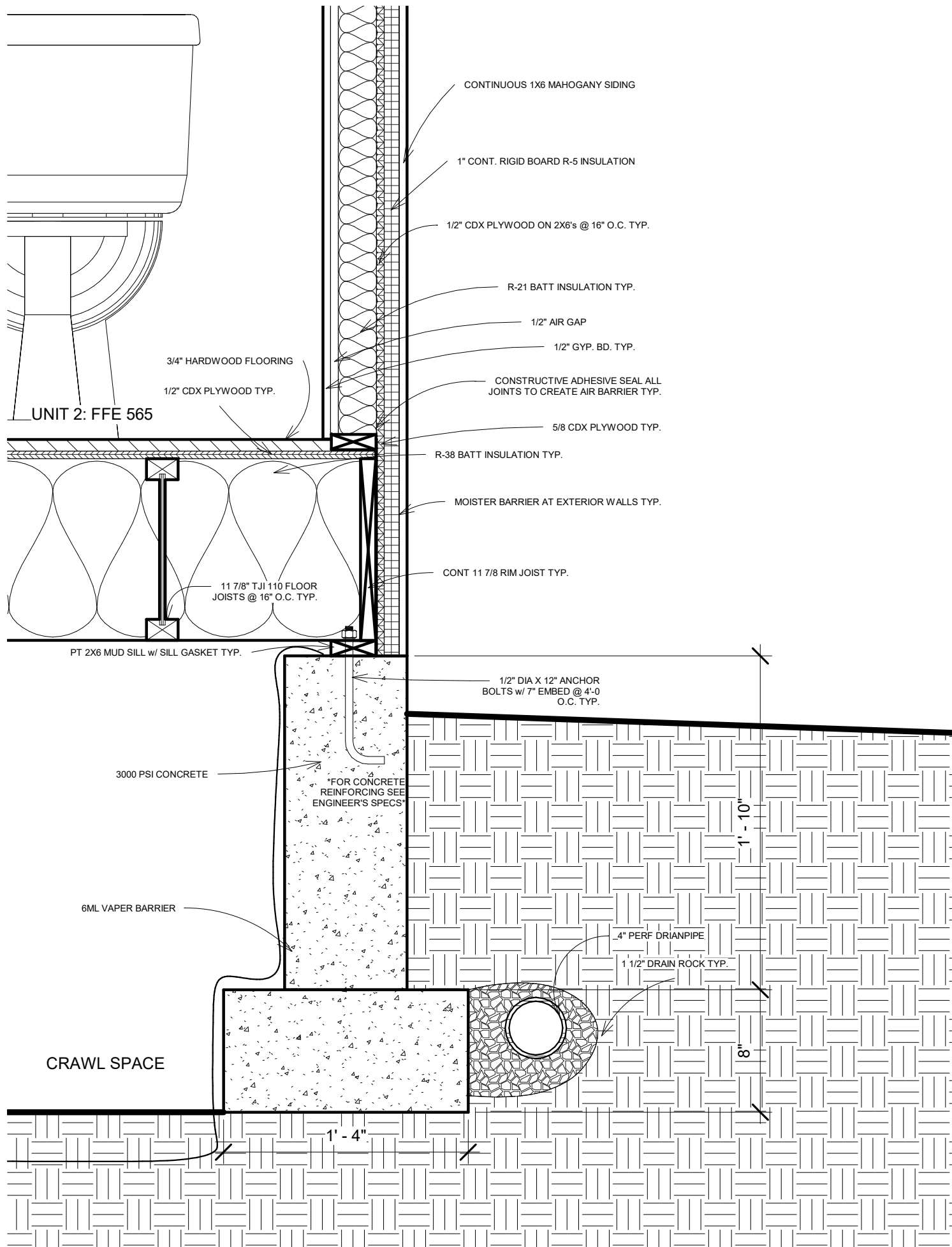
Scale 1 1/2" = 1'-0"



① UNIT 2 BEAM TO SECOND STORY
CONNECTION DETAIL
1 1/2" = 1'-0"



② SHARED FOUNDATION DETAIL
1 1/2" = 1'-0"



③ 2 STORY FOUNDATION DETAIL
1 1/2" = 1'-0"



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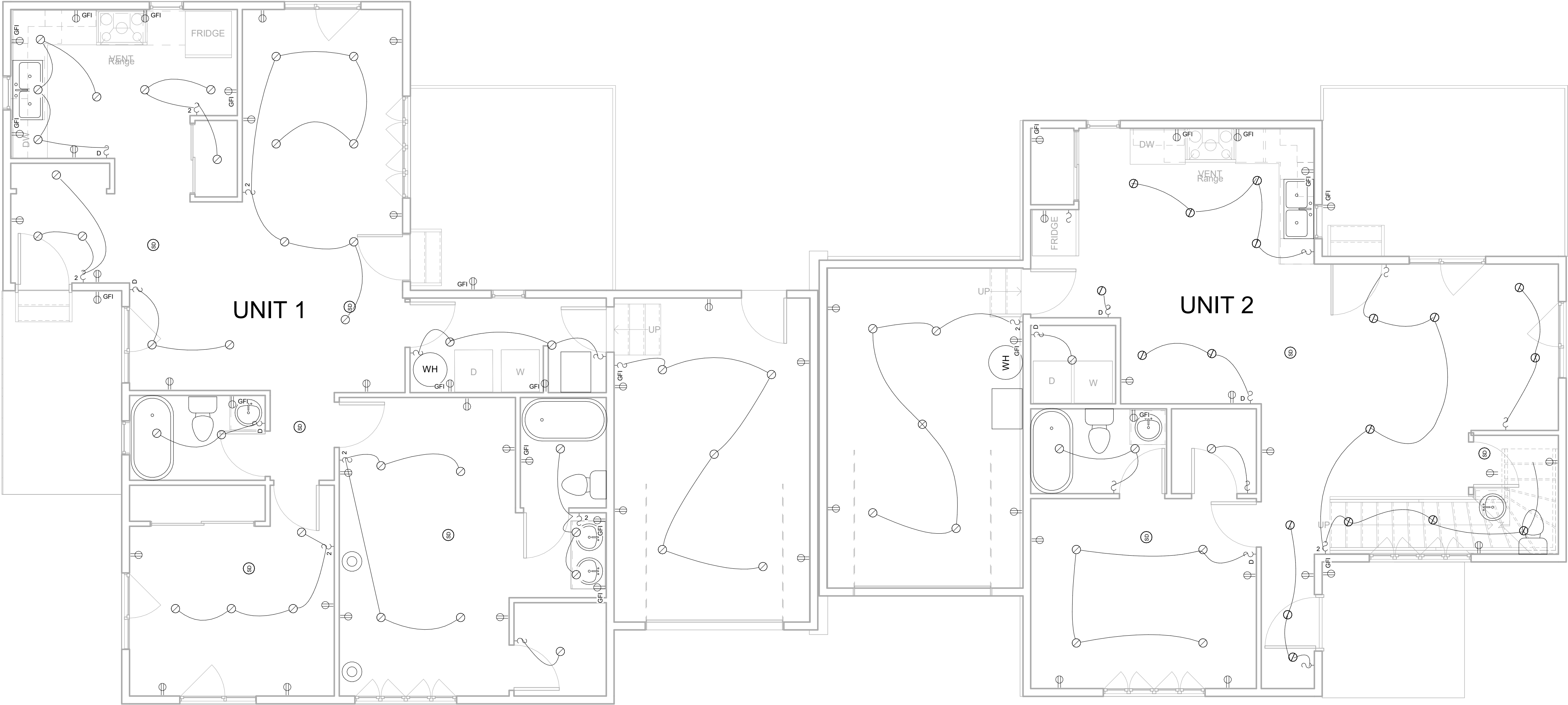
MARICARA
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ELECTRICAL
PLAN

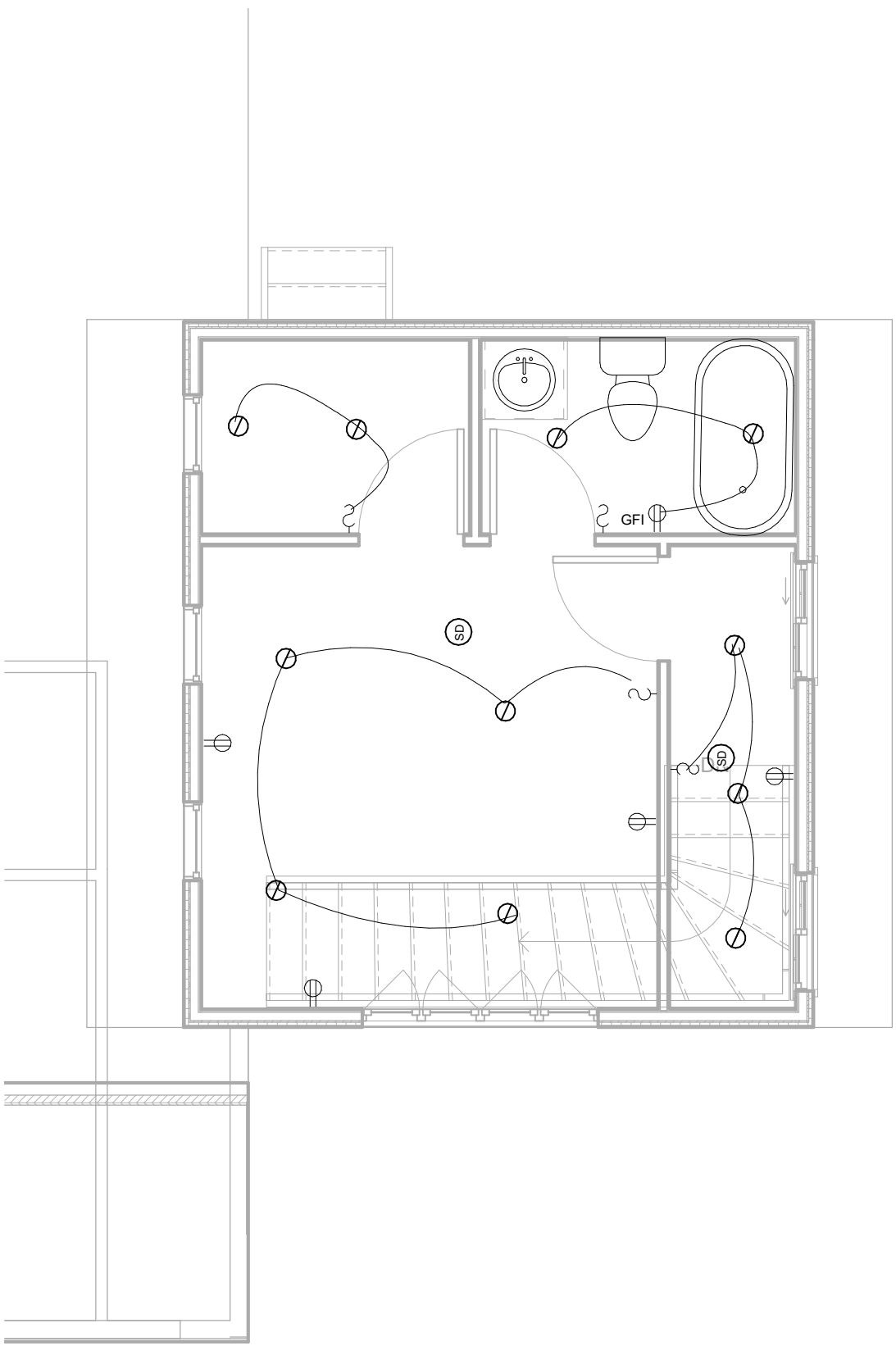
Project Number	Project Number
Date	12/12/2022
Drawn By	ANDRII PUKAY
Checked By	Checker

E01

Scale1/4" = 1'-0"



1 first floor plan ELECTRICAL PLAN
1/4" = 1'-0"



2 second floor unit 2 ELECTRICAL PLAN
1/4" = 1'-0"

ELECTRICAL SYMBOLS KEY	
	120 VOLT OUTLET
	HALF-HOT OUTLET
	WEATHERPROOF OUTLET
	GROUND FAULT INTERRUPTER OUTLET
	240 VOLT OUTLET
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	DIMMER SWITCH
	SMOKE DETECTOR
	FAN/LIGHT COMBO FIXTURE
	EXT. WALL MOUNTED FIXTURE
	CEILING MOUNTED FIXTURE
	WALL MOUNTED FIXTURE
	FLUORESCENT FIXTURE

